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20081407471

Pages:
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Recorded/Filed in Official Records
Recorder's Office, Los Angeles County,
California

Fee: 19.00

Tax: 0.00

Other: 0.00

08/06/08 AT 08:00AM

Total: 19.00

Title Company

TITLE(S) :



Assessor's Identification Number (AIN)

To be completed by Examiner OR Title Company in black ink.

Number of AIN's Shown

Recording Requested By:

CHICAGO TITLE COMPANY

When Recorded Mail to:

Pep Kranitz, Esq.
LAW OFFICES OF E. P. KRANTIZ
4929 Wilshire Boulevard,
Suite 410
Los Angeles, California
90010

08/06/08



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Space above this line reserved for Recorder's use

TITLE(S)

**NOTICE AS REQUIRED BY CALIFORNIA CIVIL CODE
SECTION 912 (F) REGARDING SENATE BILL 800
HOMEBUILDER "RIGHT TO REPAIR" LAW**

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NOTICE REGARDING SENATE BILL 800

HOMEBUILDER "RIGHT TO REPAIR" LAW

limited liability company
(hereinafter "Declarant"),

The undersigned, 1027 ANGELENO LLC, a California / the Owner
of the real property described as:

in the City of Burbank, County of Los Angeles,
Lot 1 of Tract 65646 as per map recorded in Book 1349, State of California,
Pages 18 and 19 of Maps in the Office of the Los
Angeles County Recorder (the "Property").

Declarant is constructing a twelve (12) unit condominium project on the Property
(the "Project").

Declarant records this Notice to impart certain information to purchasers of
condominiums in the Project as required by California Civil Code, Sections 912(e) and (f).
The information is as follows:

1. Declarant has elected to use the non-adversarial Prelitigation Procedure set
forth in California Civil Code, Sections 910 through 938, for claims made by a purchaser
of a condominium in the Project. This procedure must be followed prior to initiating binding
arbitration as required by the Declaration of Covenants, Conditions and Restrictions for the
Project (the "Declaration"), if the claim is not resolved by the Prelitigation Procedure. The
Prelitigation Procedure impacts the legal rights of the purchaser of a condominium. A copy
of California Civil Code, Sections 910 through 938 is attached to the Declaration, recorded,
or to be recorded, with the Los Angeles County Recorder.

2. The name and address of the person to whom claims and requests for
information pursuant to the Prelitigation Procedure of the California Civil Code referenced
above may be mailed is:

Name: Anaid Melkonian
Address: 13127 Ebell Street
North Hollywood, CA 91605

3. Prior to the close of escrow, the original purchaser of a condominium will
receive certain documents, which may include, but are not limited to: (a) a Maintenance
Manual or other maintenance or preventative limited warranty information; (b)
manufactured products maintenance and limited warranty information; (c) warranties from
Declarant; and (d) any other documents provided in conjunction with the original sale of a
condominium by Declarant (collectively, the "Documents"). The original purchaser of a
condominium shall maintain a full and complete copy of the Documents and provide the
Documents to any subsequent purchaser. Subsequent purchasers of a condominium are
hereby notified that, in accordance with the terms which may be found in the original
purchaser's Agreement and Escrow Instructions, or in any other applicable contract
documents that the original purchaser executed, the Agreement and Escrow Instructions,

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and other contract documents contain an arbitration and judicial reference provision which, like the statutory Prelitigation Procedure, binds subsequent purchasers of a Condominium. Subsequent purchasers should obtain the Documents from the seller of such condominium.

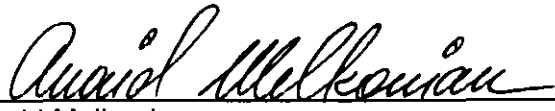
Pursuant to California Civil Code §912(h), Declarant hereby notifies each purchaser to provide any subsequent purchaser with the Documents.

Dated this 24 day of July, 2008.

1027 Angeleno LLC, a California limited liability company



Grigor Avetisian
Member/*manan*



Anaid Melkonian
Member/*manan*

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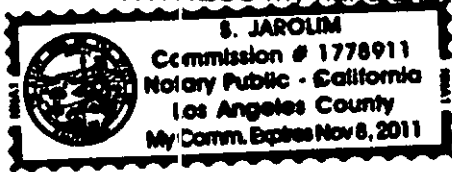
ACKNOWLEDGMENT

STATE OF CALIFORNIA)
) ss.
COUNTY OF LOS ANGELES)

On July 24, 2008, before me, S. Jarolim, a notary public, appeared GRIGOR AVETISIAN, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under penalty of perjury under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



[Seal]

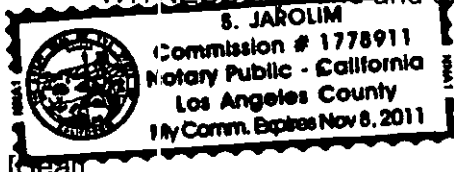
S. Jarolim
Notary Public in and for said County and State

STATE OF CALIFORNIA)
) ss.
COUNTY OF LOS ANGELES)

On July 24, 2008, before me, S. Jarolim, a notary public, appeared ANAID MELKONIAN, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under penalty of perjury under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



[Seal]

S. Jarolim
Notary Public in and for said County and State

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